

Northland Corridor Redevelopment Project Phase 3: Questions And Answers
Through Addendum 3

1. Q: The Pre-Bid Walkthrough for the Phase 3 RFPs are set for October 8th but it does not give a location of where to meet. Can you tell us where the walkthroughs will be held

A: The pre-bid walk through will be held on October 8th at 612 Northland at 9am. This information is presented in the general construction specifications on pg. 3 section 1.05 B Procurement Timetable

2. Q: May we have an estimated cost for bonding purposes?

A: The bid bond amount is five (5%) percent of the bid amount/price

3. Q: Can you tell me where I can get the plans and specs?

A: There are two (2) RFPs for the Phase 3 projects. General Construction and Construction Management (Energy). The RFP is posted on [BUDC's website](#).

4. Q: My company is interested in the solar portion of the redevelopment project at the Northland Corridor. We understand that a rooftop and ground mounted solar system is planned for community solar. We see that a bid is due Nov 1, but within the bid instruction packet, I don't see any mention of the solar part of the project. Is the solar portion part of the RFP? If so, would you kindly send me the information

A: The solar array is mentioned in the RFP under section 2.0 titled Project Overview. Furthermore, the solar array is shown in the energy drawings set and specifications. The RFP is posted on [BUDC website](#).

5. Q: Please advice for bonding purposes what the construction budget or an approximate order of magnitude for this project might be

A: General construction \$15 million - \$20 million. Construction management energy is \$2 million - \$4 million.

6. Q: Reviewing the two listed RFPs for the northland corridor redevelopment project listed on the BUDC website, it has come to my attention that sections 034713 – Tilt- Up Concrete and 213213 – Electric-drive, Vertical-Turbine Fire Pumps do not appear to be contained within the document package, though they are listed in the table of contents. Are these listed elsewhere?

A: Section 034713 have been removed from the specifications table of contents. Section 213213 – should be revised to 'Section 213000 – Fire Pump Package Systems' in the table of contents.

7. Q: Please provide details of the roof dunnage systems being provided and installed by the General Construction RFP for the solar array. Specifically details on how the modules are to be attached.

A: Please see the supplemental dunnage system framing drawings. The framing is included within the 541 E. Delavan General Contractor's scope

8. Q: Please clarify who is purchasing and installing the Ground Mount Solar racking. Please provide details of the racking that is to be used. Also, if the system is ballasted or drilled

A: The energy contractor shall purchase and install the ground mount racking system. Please see drawings E813 for racking details

9. Q: Please clarify who will provide the site work for the solar and substation.

- All concrete pads
- All trenching (if allowed). If trenching is not allowed
Details on penetration depths allowed or surface mounting of conduit runs.
- Demo and removal of the old substation.
- Surveying and site layout.

A: The general construction contractor for 612 Northland and 541 E. Delavan Ave shall produce concrete pads and trenching from the substation property to the buildings. The energy contractor shall include the following in their proposal:

- **Demo and removal of the old substation**
- **Rigging placement of the new substation**
- **Surveying and site layout**

10. Q: The Chint inverters speced would not qualify under Buy American should be propose alternates?

A: Alternate inverters may be proposed that meet specified performance criteria

11. Q: Clarify if the fence around the array (material and installation) is part of the General Construction contract. If so which contract is electrical grounding of the fence in?

A: The general construction contractor for 612 Northland and 541 E. Delavan Ave shall install fencing. The energy contractor shall provide the electrical grounding provided in detail 5 on drawing E813.

12. Q: E817 Auxilary Loads shows a weather station and RS485 anntenna is that to be Provided If so specs required?

A: These is not required and are listed for example auxiliary loads

13. Q: Location: 541 East Delavan Ave.

Drawing: C301 Utility Plan

Specification: 334100 Storm Utility Drainage Piping

Please provide the following Information

Pipe Sizes

Pipe material

Rims

Inverts

A layout of the storm water detention system.

Location: 541 East Delavan

Drawing: n/a

Specification: 312000 Earth Moving

Please provide a grading drawing for 541 East Delavan.

A: Please see updated drawings C301 and C401. There is no detention system.

14. Q: In reviewing the RFP for the Northland Corridor Redevelopment Project Phase 3 published to Construction Exchange on Friday, 10/11 there is a bid due date of 11/1. Can there be a bid submission extension for us to vet and price this project. Please let me know if this is something that could be considered.

A: There can be no bid submission extension for the project.

15. Q: Can you please provide the Required Federal Contract Provisions? I did not seem to locate them in the bid documents/specs.

A: The Federal Contract Provision that are applicable to the project can be found in the RFP under section "5.0 Compliance with Funding Sources". Also the federal contract provisions is in the specifications document starting on page 76. The bid docs can be found on [BUDC's website](#).

16. Q: In reviewing the Project Manual and General Conditions included in the Sample Contract, I was not able to find details on Payment Terms. Are you able to provide what the typical payment terms are on a project with ESD/BUDC?

A: Payment can be submitted monthly. Payment is subject to ESD approval.

17. Q: This project came out on the construction exchange over the weekend. Is it an open bid or was there a prequalification we missed out on?

A: There is no pre-qualification. Yes. It is an open bid. The bid docs can be found on [BUDC's website](#).

18. Q: Has there been any consideration to extending the bid date?

A: There is no bid extension due date

19. Q: Is the project subject to prevailing wage rates and is not tax exempt?

A: The project is subject to prevailing wages and BUDC is a not-for-profit tax exempt entity

20. Q: Please confirm if the GC is responsible for Building Permit fees.

A: Yes

21. Q: Please confirm the retention percentage for this project.

A: There is no listed retention.

22. Q: Section 5.01 in the Instruction to Bidders indicates that an AIA A305 may be required. Please confirm if this is a requirement at this time.

A: Please submit qualifications using AIA for A305.

23. Q: Drawing P100 illustrates the SSDS system. Comments at pre-bid regarding DEC involvement with the requirement of a SSDS seems to be consistent with a Brownfield or contaminated site. Please confirm if this site is part of the NYSDEC Brownfield or similar program. If so, is there a Site Management or Excavation Work Plan associated with the site? Please provide soil and soils handling documents if available.

A: The Site is a NYSDEC Superfund Program Site, identified as Vibratex Inc. Site No. 915165, with on-going investigation and remedial actions. There are no current DEC-approved Site Management or Excavation Work Plans for the Site; however, the earth work, site cover, and sub-slab depressurization system will be implemented in accordance with an Interim-Remedial Measures Work Plan (IRMWP) pending NYSDEC approval. In general, all work at the Site will be conducted in accordance with NYSDEC's Department of Environmental Remediation (DER)-10 (*Technical Guidance for Site Investigation and Remediation*). Soil handling procedures will be in accordance with the IRMWP and NYSDEC DER-10. Generally, all Site soil/fill materials are considered contaminated unless testing demonstrates otherwise. Soil/fill disturbed during site activities exhibiting evidence of impact (i.e. staining, odors, discoloration, elevated screening levels, etc.) will require off-site disposal at an appropriate, approved disposal facility. Soil/fill not exhibiting evidence of impact may remain on-site if placed below the site cover system. Soil/fill removed from the Site must be transported and disposed in accordance with all local, state (including 6NYCRR Part 360), and federal regulations at an appropriate, approved facility. If disposal of material from this Site is proposed for unregulated off-site disposal, the material must be characterized in accordance with NYSDEC Part 360 and a formal request with an associated plan will be required to be submitted to the NYSDEC. Imported soil to the Site must be characterized and meet DER-10 requirements and obtain approval by the NYSDEC.

24. Q: There is a discrepancy within the RFP regarding the expected construction schedule. Conversations at the pre-bid walk indicated that there is some level of expectation regarding turnover timing. For the benefit of obtaining leveled bids and mitigating the risk of receiving bids with varying levels of staffing costs, please provide an expected duration or timeline associated with the project.

A: Clarification from the pre-bid walkthrough: BUDC expects the contractor to propose a project schedule. Funding for the project through the US EDA requires all work to be completed prior to July of 2027.

25. Q: Specification section 051300 requires fabrication and erection to be provided by an AISC certified contractor. Can this requirement be waived to encourage better bidder participation and more competitive bid values?

A: Please adhere to the required certifications called out in the specification.

26. Q: Specification section 034713 is missing from the specification manual. Please provide this section.

A: Please disregard this – section has been removed from the Table of Contents.

27. Q: Specification sections for overhead doors are missing from the specification manual. Please provide these sections.

A: This has been added in section 083323.

28. Q: There is a specification section 033713 – Shotcrete. Can you confirm where this scope applies or is shown in the drawings?

A: Refer to drawings C201 and C504 in the 541 E Delevan Drawing Set for Shotcrete Scope.

29. Q: Please confirm if the project is tax exempt or if capital improvement taxes apply.

A: BUDC is a tax-exempt corporation. This is not a tax-exempt project.

30. Q: Section 000102-1.05A – Substitution requests due (7) days prior to bid due date...please verify all accepted substitutions will be shared with all bidders for the purpose of obtaining level bids.

A: Yes, these will be shared.

31. Q: Section 002113-7.05A – Additional bid information. This section lists several supplements that do not appear to be included in the specifications, which include:

- a. Document 004336 – Subcontractors Form
- b. Document 004322 – Unit Prices Form
- c. Document 005325 – Substitution request Form
- d. Document 004333 – Proposed Products Form
- e. Document 004328 – Tax Rebate Form

Please Advise.

A: Please see the attached Document 004336 Subcontractors Form and Document 004322 Unit Prices Form.

Document 004328 and 04333 does not apply. Please submit substitution requests on contractor's letterhead with all required information for the owner's consideration.

32. Q: Section 013000-3.01.A.7 – Use of Newforma is required for info exchange. Please confirm Procore is also an acceptable project software service and can be used for project communication and documentation.

A: Procore is also an acceptable software.

33. Q: Section 020810 - Lead-Containing Materials...have lead-based inspections been performed and documented, and if so, can you provide the environmental report?

A: Please see the attached Regulated Building Materials report.

34. Q: On the door schedule on drawing A600 in the 541 East Delavan set of plans the F2 frame type is described as a hollow aluminum frame with transom but then refers to the hollow metal spec section 081113. Is this supposed to be hollow metal? If it is supposed to be hollow aluminum, please provide the appropriate spec section for reference. (See attached annotated drawing)

A: Please see Specification Section 081113, subsection 2.4 for hollow metal frame requirements. Please note there is no attached annotated drawing.

35. Q: A601 Bldgs. 541, 714, 683 Storefront schedule scope:

a. What is being shown in the elevations of SF1 through SF7?

A: SF1 through SF7 are “Aluminum Storefront Framing per Specification 084313” as stated below each elevation on the drawings. There are applied muntins to the areas of glass to mimic divided lites and operable openings. See revised A601 for further clarifications.

b. What is the design intent of this feature? Is this an operable window? If so, Please provide a specification section for this. Please define the configuration... if this is an operable window, is it a casement, hopper, awning, double hung, vent, single hung. Do they tilt inward or outward? do they swing inward or outward? What is the hardware? Are there full screens? What is the performance rating? (See attached annotated drawing)

A: These are not intended to be operable windows. They are fixed storefront framed insulated glass windows with applied muntins to mimic divided lites and operable windows. See revised sheet A502 for details.

36. Q: A601 Bldgs. 541, 714, 683 Storefront schedule, what is the glass type for SF1 thru SF7?

A: Utilize insulated glass type IG-1 as specified in revised specification issued for section 088000. IG-1 has been indicated on each window type in revised drawing A601.

37. Q: A601 Bldgs. 541, 714, 683 Storefront schedule, SF1 through SF7 - 084313 Aluminum Framed Storefronts, page #4 - 2.5 -C - applied Muntins. Are the Muntins on both surfaces of glass applied to the interior side and exterior side? Or just one side, if one side, then which surface of glass, applied to just the interior side or just the exterior side? A detail of the muntins is required, profile and shape and sizes of the muntin is needed. A detail is not drawn in the architectural drawings, please provide.

A: Reference revised drawing A502 which illustrates the muntins to be applied to each side exterior of the glass assembly, with a spacer between the glass to simulate the true divided lite. The wider muntins simulate the operable windows, and have been illustrated in the revised drawing A502 for clarification. 612 Northland already has a similar installation, see attached photo for example.

38. Q: C201 indicates “textured or colored” concrete walk – please confirm if this is to be textured or colored or both. Please confirm stamp pattern, integral color, aggregate requirements, etc.

A: Stamped concrete colored to match building. Pattern shall be brick-style, per owner’s approval.

39. Q: Please clarify NYS Monitoring Well decommissioning requirements.

A: The NYS monitoring wells are to remain in-place as they are still in-use by the DEC.

40. Q: Drawing C301 has bedrock elevations for the catch basins. Is there a geotechnical report available?

A: Please see the attached geotechnical report.

41. Q: Except for 440 lf of 12" hdpe pipe installed between RCVR #1 and RCVR #3, all other pipe is pvc pipe. Please confirm that the 12 pipe is hdpe and not pvc

A: This was an oversight. Please see the attached revisions on drawing C301. All piping is to be PVC.

42. Q: The roof drain on the west side of the building is labeled 8" pvc but the wyes are labeled 4" x 10" The roof drain on the south side coming from the east corner is labeled 6" pvc but the wye for Roof Drain #8 is labeled 8" x 10".

Please confirm the sizes of the roof drain pipe.

A: Please see the attached revisions to C301 with annotations on changes. Refer to plumbing drawings for correct pipe sizes.

43. Q: - Modules Bolted flat to steel ?

- Or module solar rails bolted to the steel and modules on solar rails? Without solar rails?

- Confirm zero tilt ?

Dunnage System – solar module attachment and tilt angle.

A) What is the tilt angle of the dunnage rack – has there been a wind load analysis. Typically, max tilt is 10 degrees.

A: Tilt Angle is 10 Degrees as indicated in E801. A wind analysis has been completed as a part of the structural design.

44. Q: GC drawing for 541 Delevan Detail A505-9 shows a cross section of the steel being installed. There is not a Steel type profile for mounting modules ? Do you have a detail on how you want the module mounted to the steel?

A: The PV modules shall be fixed to the dunnage system with a bolted connection per manufacturer's instructions for a bolted connection.

45. Q: Add Alternate #2 is to provide a 100KW BU Generator, but I do not see any specifications for the generator or STSs.

A: Please see specifications for updated generator specifications.

46. Q: Structural Drawings for Concrete Wall

Drawing C201 references a "New 12" Concrete Wall (See Structural Drawings)," but we have not been able to locate the corresponding structural drawings. Please confirm if these are available or provide guidance on where to find them.

A: Wall detail for decorative steel structure to be provided during construction upon receipt of steel artwork shop drawing.

47. Q: Completion of Landscape Plan

The landscape plan appears to be incomplete. The design team still needs to finalize the plant schedule and labeling. Could we get confirmation on when this will be completed?

A: Please see updated landscape plans in drawings for final quantities.

48. Q: Trench Drain and Drainage Structures

While the trench drains and drainage structures are mentioned in the project details, their location and installation specifics are not clearly shown on the plans. Should these elements be included, and if so, could you clarify where they should be installed? Additionally, please confirm whether the Detention Basin per Detail 3 on C506 applies here.

A: Please Refer to C301 for drainage plans. Detail 3 on C506 has been omitted.

49. Q: Please provide a detail for the interface between the site wall and the structural steel at the "reclaimed steel screen wall" #4 A200

A: Wall detail for decorative steel structure to be provided during construction upon receipt of steel artwork shop drawing.

50. Q: Please clarify how the 10/16/24 drawings are noted, without any annotations, besides the electronic title/date.

A: Clarifying annotations have been included detailing any changes to original bid documents.

51. Q: Please confirm Alternate #1 to include 100% of Building 612B & Sitework, save the Emerg Generator which is Alternate #2.

A: Correct

52. Q: Bldg 541 - G001 - TOC list drawings S405, S406, S408, CD100, L201 - these are missing

A: Please see revised drawing set with annotated additions.

53. Q: Bldg 541 - Missing Specification for Single Skin Concealed Fastener Metal Panels 07412.13

A: Response: See Single Skin Concealed Fastener Metal Panels Specification attached. Spec 074213.13.

54. Q: Bldg 612 - Please provide landscape materials schedule, L201 is incomplete and unbidable.

A: Please see revised L201 for completed landscaping quantities.

55. Q: Bldg 541 - 8/A400 shows metal canopy wrapped with "finish aluminum". Please provide specification for metal wrapping

A: Aluminum Wrapped Finish to match Aluminum Finish; MP02 at the underside of the canopy. Reference flashing and trim spec.

56. Q: Bldg 541 - Please provide steel framing on structural drawings for North Entrance steel framed canopy

A: Please see updated structural drawings.

57. Q: Bldg 541 - please clarify if there is a new SOG to be included; demolition drawings don't show slab to be removed but structural drawing schedule SOG1 as a new 6" slab

A: Please refer to drawing A120 for clarification. Structural drawings have been revised to align.

58. Q: Bldg 541 - Please provide Site Demolition drawing.

A: Please see Drawing CD100.

59. Q: Bldg 541 – no perimeter drain tile is shown on civil drawings but is detailed on architectural drawings

A: Perimeter drainpipe is shown on drawing C301 to connect all roof drains to this pipe.

60. Q: Bldg 541 - who is providing the "Pillar Facility Signs" and do they have power or data requirements?

A: Pillar sign has been removed from biddable scope of work.

61. Q: Bldg 541 - Confirm all existing steel is to be cleaned of rust / debris and painted with typical steel primer,

A: Confirmed. All existing steel to be cleaned and painted.

62. Q: Per RFP, construction is to start 30 days after notice of award, NTP to be 30 days after the bid. Desired completion date in specs, state 7/1/26. Based on this overall construction would be 20 to 21 months. There is a note stating the overall contract time is to be 28 months. However, also stated noted in the walk-through there was a desire to occupy by next December (2025)

A: Please specify the proposed timeline in the bid that is provided based on the project's requirements

63. Q: There are notes stating 10% retention, which does not comply with the recent NYS law that only allows 5% retention to be held. Please confirm 5% project retention project.

A: A 5% cap on retainage would apply to this project

64. Q: On the bid form it states, "E. All applicable federal taxes are included and State of New York taxes are in the Bid Sum". Given BUDC is a Non-Profit and the project is being funded by Federal and State entities, would sales tax still apply? There was no other reference found that the project is tax exempt

A: BUDC is tax-exempt

65. Q:

Request:

- 1) In Section 000102 - Project Information and Section 001113 – Advertisement for Bids, there is a signature section within them. Do both of these items need to be signed and submitted now prior to bid date or with our bid for General Construction of the project on bid due date?
- 2) In Section 002113 Instructions to Bidders Section 5.01 references that "...bidders may be requested to submit AIA 305." Does BUDC want the AIA A305 submitted with the General Construction bid or only upon request after bid due date?
- 3) Within the RFP Exhibits D: EEO Requirements and Exhibits E: Lobbying Restriction Form both state "Please refer to the attached page". However, they were not included in the RFP. Please provide Exhibit E if required.

A: (1) Submission with bid is acceptable

(2) Yes, please submit AIA A305 with bid

(3) Please see CD-12 Certification Regarding Lobbying and EEO Requirements for Affirmative Action attachment with this email

66. Q:

Request:

All intentions, provisions and efforts will be made to meet all funding sources' overall goal of 30% for MWBE participation. However, if for some unknown reason they are not achieved, would there be a waiver process to be applied for similar to other projects? Or, would there be remedies (i.e. liquidated damages or liability for the loss of grant, etc.) due to BUDC by the GC?

A: BUDC intends to meet or exceed the specified MWBE requirements. A waiver will be required if these are not met.

67. Q:

Request:

Per RFP, the project states the WMBE goals to be 30% overall (without designated separation of MBE vs WBE).

However, we have seen an ad in the NYS Contract Reporter for the project submitted by BUDC with the goals listed as 30% MBE and 5% WBE.

Please confirm that WMBE goals will be 30% overall without designated percentages for each MBE and WBE.

Specification No. :

Drawing/Detail No. :

Suggestion:

Confirm that WMBE goals will be 30% overall without designated percentages for each MBE and WBE.

A: ESD establish an overall goal of 30% for Minority and Women-Owned Business Enterprises participation

68. Q:

Request:

Print L201 Landscape Plan for 612 Northland Ave has no specific planting schedule for "ornamental plantings" for the area northwest of the building and these plantings are labeled as "TBD."

It appears that there are 8 larger trees and numerous small shrubs, perennials, and grasses in the area.

Please define this list of plantings required. If selections cannot be made at this time, please provide the appropriate allowances to be included (this can be an overall total allowance or it can be a \$/ea allowance by plant type).

A: Please see the revised L201 drawing and annotated changes

69. Q:

Request:

Within Addendum #1, there were new full drawing sets provided for the GC RFP. There are Updated Structural Drawing Sets & Updated Conformed Architectural Drawing Sets. Currently, all bidders would need to review each drawing within the reissued full sets to find out what items if any have changed, which results in greater time and more risk.

In the interest of time, please identify/itemize a list of the the specific drawings that were changed within these sets.

Specification No. :

Drawing/Detail No. :

Suggestion:

Provide itemized list of documents that were revised from both the structural and architectural sets. If changes themselves can be listed as well, that is an even greater help.

A: A revised set of drawings has been uploaded detailing all changes made.

70. Q:

Request:

Per conversation with BUDC's project manager it was noted that bid clarifications can and should be included with the bid submission. Please confirm bid clarifications are acceptable.

A: Bid clarifications are acceptable

71. Q:

Request:

A formal bid request of 2 weeks is being requested, for a due date on 11/15/2024.

This allow all bidders/ subcontractors the opportunity to properly review the documents & addendum thoroughly as there are some complex scopes that require time to vet through. Including, but not limited to, the addition of the site being classified as a NYS DEC Superfund Program Site as well as other RFI questions being requested. Additional RFI's and responses will be required to further clarify this site scope.

A: A 1-week extension has been granted to 11/8/2024

72. Q:

Request:

The RFP indicates that the contractor is required to maintain Worker's Compensation Insurance, Public Liability Insurance, and Builder's Risk Insurance

However, it doesn't state the limits for the Worker's Comp or General Liability. Please provide these insurance limits required.

Specification No. :

Drawing/Detail No. :

Suggestion:

Provide the limits for the Worker's Comp or General Liability insurances.

A: Please reference the revised RFP document that was posted on 11/6.

73. Q:

The exterior materials schedule listed on A200 lists product "MP-02" to be Atas International IW series and references spec section 074213.13

This specification was not included within the spec book, please provide.

A: See Single Skin Concealed Fastner Metal Panels Specification attached. Spec 074213.13

74. Q:

Request:

The demolition drawings only indicate select areas of the existing concrete slab to be removed. However, the foundation plan indicates for a complete new 6" slab.

Based on the work required, it appears as though an complete new slab would be required.

Please confirm that the entire existing concrete slab is to be removed and replaced with a new 6" concrete slab.

Specification No. :

Drawing/Detail No. :

Suggestion:

confirm that the entire existing concrete slab is to be removed and replaced with a new 6" concrete slab.

A: There is no new slab included in this scope of work. Please see revised structural drawings and A120 for flooring plan, clarifying flooring scope of work

75. Q:

Request:

On A401 and A405 of the 541 East Delevan Avenue location, it shows what is assumed to be metal stairs with the alternating stair tread assembly, but there are no call out or details shown for them.

Please provide details for all metal stairs.

Specification No. :

Drawing/Detail No. :

Suggestion:

Provide details for all metal stairs. |

A: This is a premanufactured item. Reference Spec # 055133.23 Alternating Tread Steel Stairs for information regarding alternating metal stairs. Installation to be delegated to the manufacturer and installer.

76. Q:

Request:

Steel Specifications note a requirement for the steel erector to be AISC Certified.

This certification is typically very cost-prohibitive and also limits the amount of possible subcontractor bids.

Please confirm this AISC steel erector certification if not required for this project.

Specification No. :

Drawing/Detail No. :

Suggestion:

Please confirm this AISC steel erector certification if not required for this project.

A: The engineer is waiving the AISC steel erector certification requirement and is not waiving the AISC steel fabricator certification requirement

Request:

Glass types are not indicated for new storefront on the drawings.

At 541 East Delevan Ave, provide the required glass type for storefront types SF1 - SF7.

77. Q: At 612 Northland Ave, provide the required glass type for storefront types SF1 - SF7.

A: See revised Spec 088000

73 Q:

Request:

The electrical room shown on A404 for 541 East Delevan Avenue shows a second slab on top of the new 6" SOG we are to be putting in as well as a concrete wall. Nothing is shown on the foundation plans. Please provide details for this slab and wall.

A: Structural updated the slab to match that on A201

74.

Request:

The foundation plan on S101 for 541 East Delevan Avenue shows the entire floor being one continuous 6" slab with no depressions or slopes, but on A101 and A403 it shows dock levelers. Please provide details for the dock leveler and stem walls.

A: Dock leveler details have been included in the revised structural set

75. Q:

Request:

On A311 for 541 East Delevan Avenue it calls out 3" insulation and fluid-applied vapor retarder.

Since these walls are existing, please confirm this is to be a new system and there is not an already at the existing system.

A: This is not a new system, provide as detailed

76. Q: Please provide a site grading plan for the loading dock at 541 E Delavan

A: Please see updated C401 for the site grading plan

77. Q: Ref. Drawing S101, 541 E Delavan: Please provide a structural section/detail at the new footings on column line 11.

A: See Details 3 & 4 on S401 for typical pier and footing details.

78. Q: Please Provide structural drawings for the work at 612 Northland as none are currently included.

A: There is no structural scope in 612 Northland Avenue.

Request:

Glazing Type GL-3 shown on drawing A601 is not specified.

79. Q: Provide make-up for glass type GL-3.

A: See revised Spec 088000 and drawings

80. Q:

Request:

On C201 of the 612 Northland Ave drawings where the screen wall is to be placed, it states "New 12" concrete wall (see structural dwgs)". There are no structural drawings for this location. Please provide structural drawings.

A: Wall detail for decorative steel structure to be provided during construction upon receipt of steel artwork shop drawing

81. Q:

Request:

Within the 612 Northland Drawing Set:

Drawing E710 and E711 show two options for on-line diagrams, but appear to be mislabeled.

Drawing E710 says does not mention any alternate designated.

Drawing E711 says "Alternate 1".

All panels and other work shown on E711 are also shown on E710, however E710 also adds the new generator and three (3) additional panels.

1.) Please confirm all work shown on E711 is the work to be included for Project Alternate #1 (add scope for 612 Northland).

2.) Please confirm the additional generator/panels/etc. shown on E710 is actually the additional work to be included for Project Alternate #2 (add generator for 612 Northland).

By confirming parts 1 and 2 above, confirm that no work within drawing set for 612 Northland is to be included within the overall project base bid cost.

A:

1. Confirmed – please include pricing for 612 Northland Avenue under Alternate #1, excluding scope for generator in Alternate #2.

2. Confirmed – please include pricing for generator under Alternate #2.

82. Q:

Request:

- (1) No Geotechnical Report/Investigation with recommendations has been provided. Borings and depths of contaminants and unsuitables are required to quantify. Please advise
- (2) Is a Phase I & II Environmental report available? Classification is required in order to determine where and how contaminated/unsuitable soils are to be disposed of.
- (3) With the jobsite being a DEC Superfund jobsite, are there specific requirements and training required? Please advise.
- (4) Is the general contractor responsible for providing all soil testing costs or will the owner retain geotechnical personnel for the duration of earth disturbance/remediation?
- (5) Is contaminated groundwater a factor on this superfund site? If so, what measures are to be provided to accommodate?
- (6) Will a quantity allowance be provided for handling of unsuitable/contaminates?
- (7) Is open cutting and partial closure of Northland Ave acceptable for installation of proposed storm?
- (8) No patch detail has been provided for existing asphalt for proposed storm service between STMH#3 and New doghouse MH. Please provide.
- (9) Where does the limit of work begin and end for the solar array field in the general contractor's scope? Is the general contractor to provide all demolition, earthwork, and mass grading to rough grade? What is the surface finish? Who is to provide 8' decorative aluminum fence?
- (10) No existing substation is shown on CD-100 for removal. Please advise.
- (11) No detail has been provide for 8' Security fence, please advise.
- (12) Without knowing the type and level of contaminants in the soil will the existing concrete slabs throughout the site that are to be removed have to be disposed of as regulated waste? (As they are in contact likely with the contaminated soils.)

A:

- 1. Please see the geotechnical investigation included in Addendum #2.**
- 2. Please refer to the DEC's public documentation on previous environmental reports and remedial efforts. A copy of the DRAFT site management plan has been attached that is currently under review by the DEC and not yet approved.**
- 3. Please see the attached DRAFT site management plan.**
- 4. Contractor is responsible for soil testing. The engineer of record will provide air monitoring as required during construction.**
- 5. Please see the attached DRAFT site management plan.**
- 6. Please refer to the drawings and DRAFT site management plan for procedures on soil management.**
- 7. Open cut is permitted on Northland Avenue as long as any disturbance is replaced in-kind.**
- 8. See Detail 7 on C506 for pavement replacement.**
- 9. The GC is responsible for everything except for the installation of the solar panel, mounting systems, and electrical equipment. Fencing is included in the GC scope of work.**
- 10. The substation property is not included in the GC scope of work.**
- 11. Please see detail 8-C505.**
- 12. Please see the attached DRAFT site management plan.**

83. Q:

Request:

On C201 of the 612 Northland drawings it states the scale is 1"=40'. With this scale items like the "new 5' wide concrete sidewalk" measures at 10' wide. Is the scale meant to be 1"=20'. Please clarify.

A: Correct scale is 1" = 20'

84. Q: Will we be allowed to run the Combiner #1 output (2 - 2 1/2" RMC pipes) from the rooftop solar array on the outside of the building down to equipment pad #1? Or do the pipes have to be concealed

inside the building?

A: Exterior conduit is acceptable. Please coordinate with owner on proposed routing prior to installation.

85. Q: 002113-5 : 7.05 Additional Bid Information

Item #2 - Document 004322 Unit Prices - are these required for bid, If so what items? Bid price specifies Lump Sum.

A: Unit prices are not required

86. Q: The rendering elevation drawings for the building and wall section A404-2 shows the Rooftop solar modules mounted in a Portrait orientation on a tilted rack, (tilt angle not shown). But, the Site Plan E810, and the Connection Plan E811 both show the rooftop solar modules mounted in a Landscape orientation to South. Tilt (if any) is not shown. Please clarify tilt, orientation and module detail connection to the dunnage system.

Typically due to wind modules are orientated landscape with a 0, 5 or 10 degree tilt maximum from the plane of the roof.

For bidding purposes shall we assume Zero tilt bolted direct to the dunnage system.

A: Rooftop modules are to be landscape oriented on a tilted rack at 10 degrees as shown on E810 Site Data Table. Please refer to the Bid Addended detail 8/E812 for clarification on module connection.

87. Q: Building 541 detail 12/A502 shows surface applied muntin's to align with internal glass muntin's. Does this detail pertain to all internal glass muntin locations? Or only certain locations?

This detail is not provided in building 612 drawings.

Does this detail only pertain to 541 East Delavan location?

A: See revised Spec 088000 and drawings.

88. Q:

what is the design intent for the storefronts at the 541 location? (see below)



Can a detail be provided for this condition?

It appears to be a free-floating storefront inside the framing. Storefront can not be built liked this; there would be no structural support and the system would essentially be resting on glass. If the intent is to have glass divided by storefront in the center, the jambs would have to run the full height of the system.

A: See revised Spec 088000 and drawings.

90. Q: The curtain wall % storefront spec indicate a Class 1 finish is required; with no color designation. Please note a C1 finish can vary greatly in price
Are these products intended to be Champaign to match the terracotta paneling and the brake metal finishes?

A: Anodized Black.

91. Q: I saw that fluid applied membrane was listed as the roofing material for the project but GAF is not specified as a manufacturer. Would it be possible to request a substitution at this time so that GAF can be listed on the spec?

A: Please submit a formal substitution request.

92. Q: Noting that BUDC is a tax-exempt entity, please confirm whether THIS PROJECT is tax exempt. Spec section 004100-1.05E states "All applicable federal taxes are included and State of New York taxes are included in the Bid Sum". If the project is tax exempt, please confirm that an ST119 form will be provided. If it is a Capital Improvements project, please confirm that an ST124 form will be provided.

A: This is not a tax-exempt project.

93. Q: Noting that the first response to the RFI question asking if the AISC certification requirements for steel fabrication and erection can be removed was NO, please know that we currently have NO steel subcontractors bidding this project because of this requirement. AISC certified steel subcontractors are not bidding smaller steel projects like this right now as there are many larger projects with this

requirement that they are focusing on. Also, this requirement excludes any MWBE steel subcontractors from bidding as they are not AISC certified. Several other recent projects of this size, including SUCF projects, have removed this requirement in lieu of subcontractor experience which can be validated through a review of their qualifications during the construction submittal process. All of this said, we ask again if the AISC certification requirements can be removed for this project.

A: The engineer is waiving the AISC steel erector certification requirement and is not waiving the AISC steel fabricator certification requirement.

94. Q: RFI – 08800 Glazing spec and A601 CW & SF schedule for Bldg. 612 Northland – see attached:

- a. IG-3 is not listed in Spec 088000. Please provide a spec for this glass type.
- b. What company manufactures IG-2?
- c. What glass type goes into frames SF1 through SF5, 601 CW & SF schedule for Bldg. 612 Northland?
- d. What glass type goes into frames SF1 through SF7, A601 Bldgs. 541, 714, 683?

A: See revised Spec 088000 and drawings.

95. Q: Can you clarify the difference between “Open Lawn Areas” and “New Lawn Areas” identified on C201 Site Plan 541 East Delevan Ave. Are they both to follow detail 8-C501 with turf, 6” topsoil, and 6” imported soil?

A: Yes, both areas will follow the same detail as 8-C501, lawn seeding as per landscape notes on drawing L201

96. Q: Is the concrete area near the pedestrian bridge next to the existing building on C201 to be concrete or reinforced concrete per details 8 + 9 on C503?

A: The concrete is to be reinforced concrete as per detail 8-C503.

97. Q: Please confirm the depth of cover layer that needs to be placed over existing soils that will be left on site.

A: All soil areas are to meet finished grades as per grading plan C401

98. Q: Will the owner provide soils testing to determine handling requirements? Since we are unable to quantify the amount of contaminated soils or identify Fill Type without testing, confirm which Fill Type should be assumed as outlined in Table 2 of 6 NYCRR Part 360.

A: Contractor to provide testing. Refer to work plan for fill type.

99. Q: Please provide the referenced Interim-Remedial Measures Work Plan.

A: Please see the attached DRAFT work plan. Note this has not yet been approved by DEC and is subject to change.

100. Q: Please confirm retaining wall type shown on C201 identified “New wall, type TBD with landscape planting”

A: The new wall has been added to detail sheet as 3 - C506 and T.O.W. (top of wall) elevations are shown on revised C401

101. Q: The canopy that will be on the north entrance of the building is shown on the architectural drawings and on A/400 detail 8 states to reference the structural drawings for structural steel but there is no information on the structural drawings for the canopy.

A: Detail provided in structural set.

102. Q: Are existing containers noted to be removed going to be removed by owner? If they to be removed by contractor, please confirm final location of all containers.

A: Existing containers will be removed by owner prior to construction starting.

103. Q: Can we get the entire geotechnical report as opposed to just the drilling logs?

A: As the Foundation is bearing on bedrock, no further geotechnical reports were developed.

104. Q: Can you please provide spec section 074213.13 – Single-Skin Concealed Fastener Metal Panels? Information like gauge, finish, and warranty are not provided on the Exterior Finish Materials Schedule.

A:Arch

105. Q: Can you provide CAD data for the site scope of work?

A: CAD drawing files are not available prior to award of the Bid.

106. Q: Please confirm whether all steel, existing and new, is to be painted with PT-03 epoxy steel coating at the 541 East Delevan building. This would include beams, columns, diagonal bracing, plate reinforcing, etc.

A: See S001 High performance coating notes for required coatings"

107. Q: Please confirm where the mineral silicate exterior coating is to be provided (spec section 099739).

A: Mineral silicate not required.

108. Q: Who is responsible for the metallurgical testing of existing steel? If it is the contractor, what type and frequency of testing is required?

A: GC is responsibility for testing, via testing agency, to verify steel grade for weldability.

109. Q: Several subcontractors have expressed that they would like to participate in this bid but, would need more time to develop their number due to other projects they are also bidding next week. Other contractors have stated they could bid more of the project scope given additional time. Finally, several steel subcontractors are waiting to see if the AISC certification requirement is lifted and, if it were, they would need more time as they have not started working on this bid with the requirement of this certification. For these reasons, and for the potential cost benefit to the project from more bid

participation, can this bid be extended a week?

A: AISC steel erector requirement has been lifted. Bids are due 11/8/24 @ 1PM

110. Q: For the 612 Northland building, IG-3 is called out in the curtain walls but when I go to the spec (addendum 2) I do not see a make-up for IG-3. Can you please provide information for the make-up of IG-3?

A: Reference reissued drawing A601 and spec 088000 for make-up of IG-3.

111. Q: Drawing A600 of the 612 Northland Ave. drawings denotes the overhead doors (type OHD) as insulated metal overhead doors and references spec section 083613. Please provide this spec section as there is not currently this section in the project manual. Also confirm that they are insulated metal as the door schedule (same drawing) calls them to be aluminum & glass with an anodized finish.

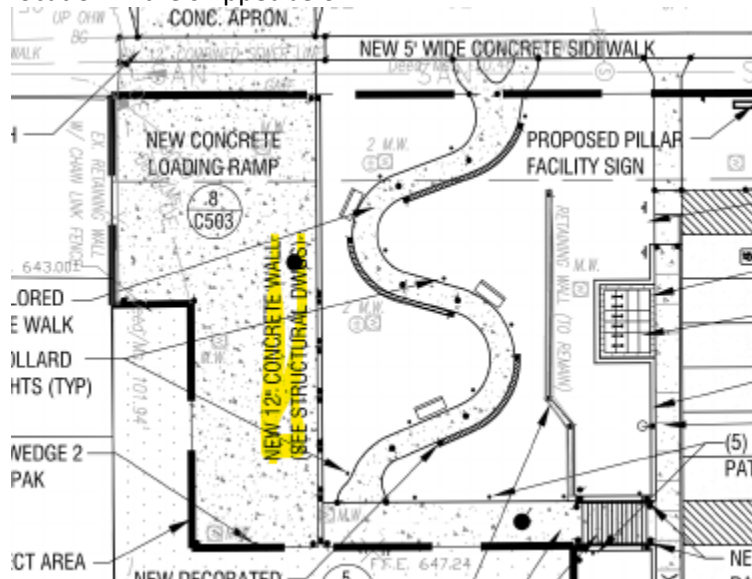
**A: • Reference spec 083613 for sectional overhead doors.
• They are insulated metal as indicated on door schedule.**

112. Q: Questions/comments regarding the compatibility of door hardware for storefront aluminum entrances (spec section 087100)

- a. group 02- no pulls or cylinders listed door will be exit only, overhead stop requires deep door top rail, remaining hardware is compatible
- b. group 012- no pulls listed for door, overhead stop requires deep door top rail, remaining hardware is compatible
- c. Please provide complete door hardware sets

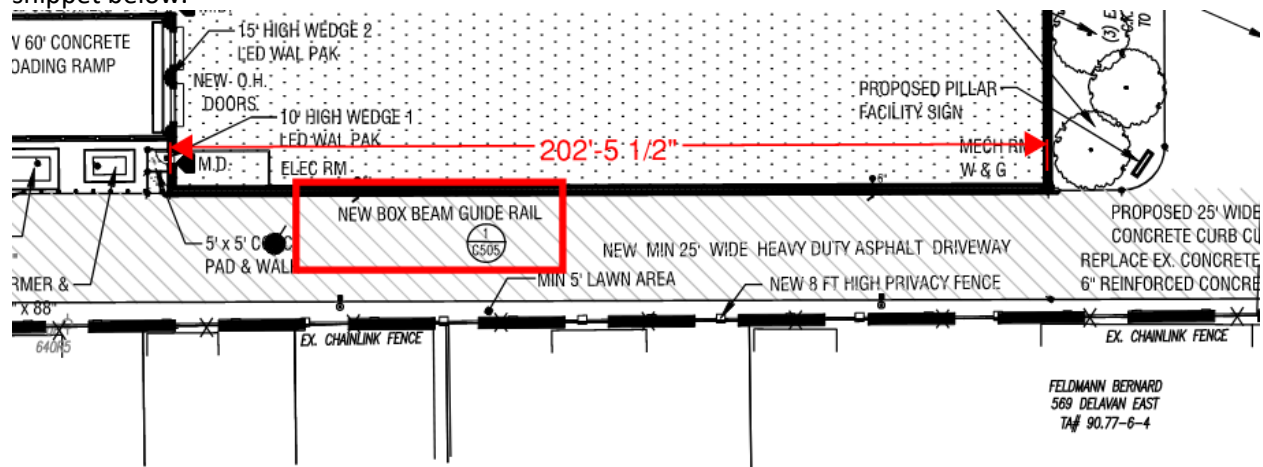
A: Reference updated spec 087100 for hardware questions

113. Q: C201 Site plan for 612 Northland Ave. shows a "New 12" Concrete Wall (See structural drawings)". I'm not sure I could find it in the drawings. Could you please provide the details for this wall or clarify if it is similar to the loading ramp wall in the base bid (detail C504-8). I'm referring to the location in the snippet below.



A: Wall detail for decorative steel structure to be provided during construction upon receipt of steel artwork shop drawing.

114. Q: C201 Site plan for 541 East Delevan Ave. shows a "New box beam guide rail" but doesn't specify the exact location or length. I assume it runs along the building length, but please clarify this. See snippet below.



A: Guide rail to run entire length of building.

115. Q: Form 004322-RIB-Unit Prices Form was provided with Addendum 2. This form does not specify what unit prices to provide. Please provide the items you would like unit prices for with the bid submission.

A: No specific unit prices were requested at this time.

116. Q: For the 612 Northland Ave building, is there any additional information/specification on the diesel standby generator other than what is shown on the power distribution one-line diagram?

A: Please see the attached specification for backup generator.

117. Q: Location: 541 East Delevan Ave.

Drawing: C501

Specification: 312000 Earth Moving

C501 has details for erosion control

There is no silt fence/sock or inlet protection shown on the plans.

Are silt fence/sock and inlet protection required? If so, may we get a plan view showing the location of their installation?

A: Please see C101.

118. Q: Location: 612 Northland Ave

Drawing: C-401

Specification: 312000 Earth Moving

Please provide proposed grades in the lawn areas for all retaining walls inclusive of the 8", 10", 12" and

the existing wall that is to remain. Calculating the earthwork cannot be done without proposed grades.

A: Please refer to revised C401 with grading plan

119. Q: Location: 612 Northland Ave

Drawing: C-401

Specification: 312000 Earth Moving

Please provide proposed grades along the eastern portion of the site along the proposed retaining wall and dumpster pad. Calculating the earthwork from the curb to the eastern limit cannot be done without proposed grades.

A: Please refer to revised C401 with grading plan

120. Q:

Request:

Within the specifications for the "Draft AIA Document 101", the following (2) contract documents are listed as being provided to bidders, but are not included.

Please provide the following (2) contract documents as listed:

AIA Document A101 - 2017, Exhibit A, Insurance and Bonds

AIA Document E203 - 2013, Building Information Modeling and Digital Data Exhibit

A: Please see attachment

121. Q:

Request:

A previous RFI was answered approving a substitute info exchange software ("Procore") to be acceptable in lieu of Newforma.

Please confirm that Pike's software "CMiC" would also be an acceptable software for project communication and documentation.

A: Response: CMiC is an acceptable substitution.

122. Q: The glass make-up for IG-3 is not within the glazing spec; Neither is the glass with internal muntin's

What is the glass type & make-up for the glazing units with internal muntin's?

Can IG-3 be added to the glazing spec?

A: Reference reissued drawing A601 and spec 088000 for make-up of IG-3.

123. Q: We are having trouble sourcing this exact muntin for your project? I do not want to bid something we "think" would suffice and then end up in an argument down the road. Please advise at your convenience and thank you for your time,

A: Reference *kawneer_tr_muntin-sash dividers.pdf*. If non-of the muntins in the pdf match what is detailed a custom muntin will be required.

124. Q: We respectfully request to substitute all solar electrical gear specified for this project to be Schneider Electric (Sqr D) products.

AC Combiner panel CB #1 : Terra Smart to equivalent Sqr D product
AC Combiner panel CD #2 : Terra Smart to equivalent Sqr D product
T2 Transformer 480V – 600V : Larson to equivalent Sqr D product

A: This substitution is acceptable.

125. Q: We respectfully request to substitute all solar modules specified for this project to be Qcells 620W.

Roof Top Array specified Silfab 500W : substitute to QCell 620W Q.Tron XL-G2.3/BFG

Ground Mount Array specified QCell 590W: substitute to QCell 620W Q.Tron XL-G2.3/BFG

A: This substitution is acceptable.

125. Q: Missing spec # 076200 - for Metal Trim Closure as noted on A201 Elevations - Exterior Finish Material Schedule

A: Reference spec 076200 for metal trim closure.

126. Q: Spec Section 074229:

1. Calls for terra cotta Finish: Standard & Glazed as indicated on the drawings & Color:

a. Exterior Finish Materials Schedule list TC01 & TC03 as Terra Cotta Color & TC02 as TBD.

b. Please confirm the intent: Glazed products vs unglazed thru-body colors vs Custom through body colors

1. TC01 & TC03 to be unglazed in Boston Valley's Standard Terra Cotta Thru-body?

A: Correct

2. TC03 Both Panels and Baguettes are the same color?

A: Is this in reference to TC02, because TC03 is only to reference the baguette louvers.

Assuming this question is for TC02:

- Both panels and baguettes are to be the same color. reference updated exterior finish material schedule and detail on A200. A201, A202, and A203.
- TC02
 - Clay color: tan B104.A
 - Glaze color: custom (to be coordinated with by Boston Valley)

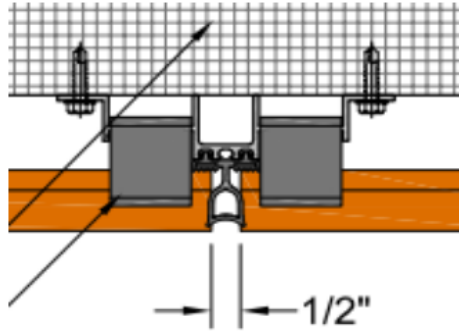
3. TC03 Is this product a 2nd standard through body color, Custom through body color, or glazed in a standard through body color?

A: TC03 is Boston Valley's standard terra cotta thru-body. to be used as indicated on drawings at all louver locations.

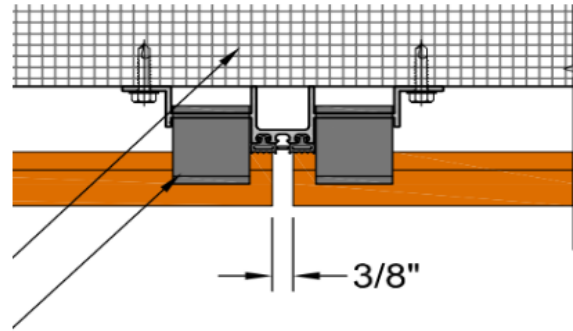
2. If any of the products are to be glazed will it be acceptable to have the cut edges unglazed showing the through body color below.

A: No, all faces of glazed terra cotta to be covered. if this is unrealistic a solution should be resolved with Boston Valley.

3. Please confirm which vertical joint is desired at the main fields of Horizontal Terra Cotta Panels. Tulip gaskets incur additional costs. In either scenario will a standard black gasket be acceptable?



TULIP GASKET JOINT



STANDARD GASKET JOINT

A: Response: The standard gasket joint shown will be acceptable. and yes, in black.

127. Q: Many of the termination details at the Terra Cotta system indicate 1/8" thick galvanized steel plates or angles in various sizes. Is there a specific spec section for this item?

A: Metal fabrications spec 055000.

128. Q: Are all these angles and plates to be 1/8" thick? Can these be made from 11ga (.124" thick) galvanized sheet?

A: Yes, 11ga is acceptable.

129. Q: Is standard factory G90 finish acceptable?

A: Factory G90 is acceptable.

130. Q: Addendum 2 Q & A (third to last Q) stated the Geotech Report was attached. We do not see that on the BUDC website. Please confirm or clarify.

A: Boring logs are uploaded to BUDC's website

131. Q: We request final regarding sales tax and some confusion within RFI responses. We understand BUDC is a tax exempt entity and per RFI responses 29 and 92, this project is not tax-exempt. Does that mean the project is fully taxable or is it a capital improvement project? Can the applicable ST form (ST119 or ST124) please be provided.

A: The project is not a capital improvement project and neither a ST119 nor ST124 will be provided.

132. Q: We are currently bidding, Northland Corridor Redevelopment Project Phase 3. Can you please let me know the prevailing rate on this project or the PRC# or WD#?

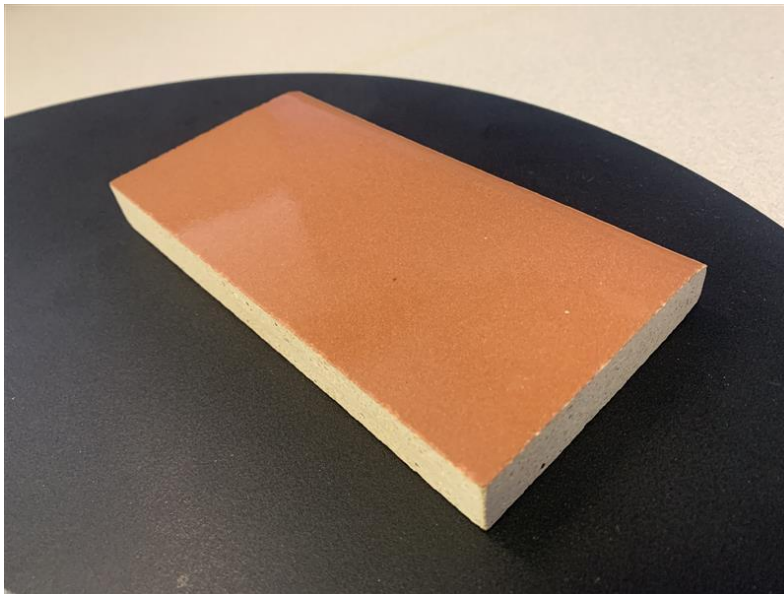
A: Please use the General Wage Determination rates that are published on SAM.gov for prevailing rates. The hourly rates are effective from the start of the contract throughout the duration of the project.

133. Q: RFI Responses below indicates that the edges of TC02 should be glazed. The pricing provided by Boston Valley assumes a once fire glaze meaning the Terra Cotta will be dried, glazed, fired in the kiln, and then cut to size. If the edges need to be glazed it would require the terra cotta to be fired twice. That additional firing increases the cost a significant amount. In the past they've provided Behr masonry paint on the cut edges to match the glaze as closely as possible. This also increases the cost, but is cheaper than glazed edges. Please advise which should be figured?

2. If any of the products are to be glazed will it be acceptable to have the cut edges unglazed showing the through body color below.

A: No, all faces of glazed terra cotta to be covered. if this is unrealistic a solution should be resolved with Boston Valley.

A: As seen in the image provided it will not be acceptable to leave raw cut edges and have the through body clay exposed. We understand that it is cost prohibited to double fire the Terra Cotta so we find it acceptable to use a masonry paint to match the glaze as closely as possible.



134. Q: The attached metal panel spec 074213.13 doesn't appear to describe the MP-02 "Opaline" panel called out in the elevation finish schedules. Opaline panels are a flat profiled panel offered in 4", 6" & 8" Widths x 3/4" Deep. The spec references a 16" wide panel 1/2" deep with a profile. It appears the spec is possibly describing the aluminum panel called out on section 8/A400 of the 541 drawings. That said, the panel depicted on 8/A400 seems to meet the profile and depth described in the specifications but is not a concealed fastener panel. Lastly, the specification calls for two standard ATAS colors Coppertone & Champagne. These colors are offered in a standard 2 coat finish, but the spec calls for these panels to be 3-coat. That will require the new panels to be from a new Custom coil. At MP-02 there's enough footage to justify a custom color but will obviously be more expensive than the standard. At the soffit panel on 8/A400 there is very little footage, so if a new custom color is required, we'd have to purchase a whole new coil and pay for 80% more materials than will be required. Please advise the following below.

a. MP-02:

- i. Panel Width: **8"**
- ii. Panel Profile: **Flat Opaline OPF or equal**
- iii. Panel Depth: **¾"**
- iv. Panel Color: Standard Manufacturer 2-Coat Color, or Custom 3-Coat in manufacturers standard color.:
Two-coat is acceptable
- v. Exposed or Concealed Fastener: **concealed fastener**

b. 8/400 Soffit Panel

- i. Panel Width: **Same as MP02**
- ii. Panel Profile: **Same as MP02**
- iii. Panel Depth: **Same as MP02**
- iv. Panel Color: Standard Manufacturer 2-Coat Color, or Custom 3-Coat in manufacturers standard color. :
Same as MP02
- v. Exposed or Concealed Fastener: **Same as MP02**

A: Responses are in bold

135. Q: Weathering Steel Wall Panels on 3/A200 (612). Is the term "Weathering Steel Wall Panels" referencing the panel color? Based on the enlarged details on 2/A501 these panels are to be fabricated from Omega Lite aluminum composite materials. When reviewing their architectural color charts I can't find this color as an offering? There are companies that make Corten "weathered steel" single skin metal panels is that the intent for this area? If yes, can a revised specification and manufacturer be provided for these panels? If no, are we to assume these panels will have to be a custom color by Omega? If not can a desired standard color be provided. They offer some steel-looking panels, but some are a premium cost. Please advise which color should be figured for bidding purposes.

A: The product specified for the Weathering Steel Wall Panels is from Dri-Design. The exterior wall type, TYPE EXT – W02, on A050 details the correct WS wall panel from Dri-Design. See updated details 6 on A500 and 1, 2, 4, 5 on A501 for correct callouts and fabrication. Reference attached specification 074213.33.

136. Q: Spec Section 074213.23 Aluminum composite panels notes all of the possible finishes for the ACM panels. Building 541 calls for Ascot white and Building 612 is still unclear. Regardless, if a standard color like Ascot white is only offered in a two-coat paint will that be acceptable, or will a 3-coat Ascot white be required?

A: a. There are no ACM panels on 612. The only panel on 612 is the Dri-Design Weathering Steel

b. Two-coat is acceptable

137. Q: Elevations 1,2 & 3/A202 (541 Set) call for TC03 below FSP01 & MP02 finishes. Section Details 1 & 3/A314 of these areas call for a break metal flashing. Which should be followed? If the elevations are to

be followed can a section detail be provided showing how the Louver would interact with the window sill?

A: On these elevations TC03 should have been tagged as MT02. See updated elevations, 1, 2, 3 on A202 and 1, 2, 3 on A203, for correct tagging.

138. Q: I'm looking for specs on the high security 8' tall fencing. Will it be a no-climb 1" diamond chain link or are they looking for something else like regular chain link? Is there a way to get a site drawing without the black limit line so I can see exactly where the fencing ends on couple areas?

A: Chain link fence detail has been added (see 507-7). Fencing limit is shown more clearly on C201.

139. Q: There are scopes with limited numbers (if any) of certified and qualified MWBEs. Is there an overall project goal that supersedes the individualized scope categories? It is unusual to see a goal set on each and every individualized scope. Please advise.

A: The MWBE goals are listed for the entirety of the contract

140. Q: Will the steel for the energy framing need to be fabricated/supplied by an AISC certified fabricator or with it being considered "dunnage", can this be provided under the misc. metals not needing the certification?

A: Dunnage to be Fabricated/supplied by AISC certified fabricator.

141. Q: Detail 3, 4, 8, & 10 on A502 Show Galvanized plates & bent plates, no sizing is shown for these. Can sizing be provided?

A: See updated details 3, 4, 8, & 10 on A502 for sizing

142. Q: The elevations on A202 have a note for TC03 (terra cotta) at the bottom of the elevations, however the wall sections on A314 do not show any terra cotta. Is the TC03 note on an error on drawing A202 because the note does not exist on the A203 elevations which have the same wall section call outs?

A: The TC03 tag is an error. See updated elevations, 1, 2, 3 on A202 and 1, 2, 3 on A203, for correct tagging

143. Q:

1. Addendum #4 Folder on BUDC website contain (2) sets of drawings for each building. For Building 541 - Dwg's with file name/date of 'Addendum 10/31/24' have 134 pages. Dwg set with 'Addendum #4 - 11/5/24' file name/date have 125 pages. Please clarify which set is the addendum 4 set. Note Addm 3 folder has name/date of 'Addendum 3 10/28/24' have 125 pages.

2. Addendum #4 folder has (2) identical sets of Building 612. Please clarify why this is included.

3. Requesting there be a conformed set posted for bidders to have ONE clean and definitive set of documents to build from

A: The bid folder has been re-arranged and Addendum 5 includes all bid documents, compiled.

144. Q: Spec for Shotcrete requires certified applicators and eliminates all local bidders. Can this get waived?

A: Certification is not required

145. Q: Please clarify if the reclaimed steel screenwall gets any particular finish.

A: Clear outdoor rated urethane coating shall be provided to the finished product. See attached specification 099600 for urethane coating.

146. Q: C201 references structural drawing for reclaimed steel screenwall 12" retaining wall. None exists. Please provide structural drawing. RFI Q46,49,80,113 asks same question, with no biddable answer. Bidders need basis of design to bid. If nothing is provided this will be excluded.

A: Please refer to architectural structural drawings for detail as referenced on C201

147. Q: DWG C201 indicates a "Proposed 18' Wide Access Gate" is this a sliding or hinged gate?

A: This gate should be a manual slide gate to match fence. Should include locking device. (see C505 -8)

148. Q: DWG C201 and C202 indicates new Park Benches. Several of the park benches are installed in the grass area adjacent to the sidewalk. Can you provide a detail for installation and model number for the park bench?

A: All park benches shall be secured to a concrete pad as per typical detail on C506-10. Style and color of bench to be approved by owner

149. Q: Bldg 612 C401 Grading Plan is missing new grade line. Only shows spot elevation for walls and walks. Please provide. RFI Q 118,119 asks same Q.

A: Grades have been added as necessary along the driveway and around dumpster area

150. Q: DWG C802 notes existing concrete apron at Northland Ave is to remain, DWG C805 indicate a new 50' concrete wide apron. The large apron does not align with the demo and landscaping drawings.

A: All drawings have been revised to show new 50' concrete apron and demolition of existing apron

151. Q: DWG C803 indicates new site lighting, but does not indicate where power feed are coming from? Is installing power overhead an option to avoid cutting and trenching asphalt parking lot?

A: No overhead power. Power is to come from existing building and trenched to each light fixture coordinate with electrical engineer for sizing

152. Q: DWG C901 indicates a "Gate Controller," please provide details on the power requirements of the controller and the desired location from which to pull power.

A: Power is to come from the building in same location as shown on C904 for site lighting. See electrical drawings for power requirements and related information about the gate

153. Q: DWG CD901 confirm the Contractor is to remove and dispose of storage containers

A: Owner to have storage containers removed prior to construction

154. Q: DWG S001 Regarding the use of the Thermal Break Tnemac Coating at various structural steel locations, please specify the desired mil. thickness of the Thermal Break Coating

A: The required thickness shall be specified by the manufacturer in order to mitigate thermal bridging.

155. Q: DWG S201-S202 Note #7: For the cleaning/prepping of all existing structural steel, it is our intent to powerwash, apply a coating of rust inhibitor, and then apply the desired primer coat. Please advise if this method is acceptable.

A: Existing steel is to be cleaned and prepped based on SSPC-SP 2 standards to create a surface free of visible deposits of oil and grease, and all loose mill scale, loose rust, loose paint and other loose foreign matter.

156. Q: Please clarify what cut is required for the Obex walk off mat

A: Reference specification 124813 section 2.2.

157. Q: Please clarify if Epoxy or Standard grout is required.

A: Epoxy grout

158. Q: Please include related spec section to roofing

A: See section 075600.13 for roofing specifications

159. Q: RFI Q 44 answer needs clarity. It refers to installation of solar panels which are not part of this bid scope. Please review and clarify.

A: This question pertains to the Energy RFP. There is no photovoltaics in the General Construction RFP.

160. Q: RFI Q75 answer needs clarity. We assume existing walls DO NOT have waterproofing/isul and a new system is to be provided. Please confirm.

A: Confirmed

161. Q: RFI Q86 - Does this pertain to the Energy Project and NOT the General Construction Project? Please clarify

A: This question pertains to the Energy RFP. There is no photovoltaics in the General Construction RFP.

162. Q: RFI Q121 - please clarify where we can find the attachments

A: Please refer to BUDC's website

163. Q:

1. RFI Q122 - A601 was issued in Add 2 only. A601 in Add 3 and Add 4 are earlier iterations. Same with A502. Resending Arc RFI log #3 Q's not addressed in updated 130 Q RFI log

2. Re: 612 - Please clarify slab work in area B200: AD101 shades area of slab removals and notes areas to have slab removed EXCEPT in lower level B200. A101 indicates no new slab yet shows it shaded similar to new slabwork

A: There is no slab removal or new slab work happening in B200 or B201 except for the floor infill indicated on drawing 1/A401. See updated drawings A101 AND A101 to clarify slab work extents

164. Q: 612 - If a new slab is required for area B200 please provide structural drawings

A: No new slab required

165. Q: 612 - Please provide structural drawings for new stairs and slab in Corridor C100

A: See detail 4/A503 for stair and slab rebar reinforcing

166. Q: The following sections are referenced in Specification Section 013591 but not included : Section 024110 – Selective Demolition

A: Reference issued specification 013591

167. Q: The following sections are referenced in Specification Section 015000 but not included

- a. Section 013533 - Security
- b. Section 015213 - Field Office and Sheds
- c. Section 015500 – Vehicular Access and Parking

A: These sections are not required. Please disregard reference

168. Q: The following sections are referenced in Specification Section 016000 but not included: Section 016116 – Volatile Organic Compounds

A: This section is not needed

169. Q: Civil drawing C503 indicate both Integral sidewalk with curb as well as separate stand alone curb and sidewalks. Please confirm we can use separate curb and side walk

A: Unless called out all, sidewalks and curbs are to be separate pours

170. Q: Regarding the Ground mounted solar array. Can we design a ballasted system

that would not require soil disturbance considering this is a Super Fund site.

A: Ballasted system is not required as drilling is permitted for this site as long as soils are handled properly per NYSDEC requirements and in accordance with the IRM work plan (pending NYSDEC approval). Contractor can proceed with a Ballasted system if that would lower their installation cost of the solar array with approved shop drawings prior to procuring material

171. Q: Regarding the Solar Array Interconnection to National Grid. Would a secondary

service interconnection to National Grid be considered rather than tying into

the primary

A: The solar array must be a primary connection in order to integrate metering required to receive credits for community solar

172. Q: Section 2.2.C.6 and Section 2.2.C.7 Call for compression lugs. Would you accept mechanical lugs?

A: Yes, mechanical lugs are permitted

173. Q: Section 2.7.D.2 Calls for ground fault trip. Manufacturer highly recommends not including trip on the generator breaker. This would prevent the generator from providing power if a nuisance ground fault condition occurs, until that condition is cleared.

A: Do not provide a ground fault trip. However, the generator shall indicate ground fault.

174. Q: Section 2.8.J calls for a space heater. Without operable louvers, the space heater will basically run from mid-fall to mid-spring (and whenever the temp. Falls below the set point temperature). Recommendation to either remove the enclosure heater or add operable louvers

A: No space heater required

175. Q: Section 2.7.B.1-3 Lists out the circuit breakers. I see all of them are 100%, Shunt Trip. 2.7.B.1 states LI, while 2.7.B.2 states LSI. Can you please confirm the circuit breaker features?

A: Provide Molded case circuit breaker as described in 2.7.B.1.

176. Q: Section 2.5.F.2 regarding the fuel tank. Could you confirm the required fuel tank size in hours (e.g., 12-hour, 24-hour, or 48-hour capacity)?

A: Please provide 12-hour capacity

177. Q:

Cost Impact: POTENTIALLY

Schedule Impact: POTENTIALLY

Request:

Within Section 6 of the revised RFP, there is an added note about Attachment "C" about "MBE and WBE" participation goals of 7.7% and 6.9% respectively.

"MBE and WBE" refer to the certification of the business itself in regards to overall project utilization goals. Per previous RFI response, it was stated that the overall WMBE participation goal was 30% total. Confirm this to be true.

In this revised RFP, we believe you may be referring to "Equal Employment Opportunity" Goals (EEO) which refer to the employees within any subcontractor, regardless of the subcontractors company actually having a MBE/WBE certification status or not.

Please confirm these goal percentages within the revised RFP are actually referring to the EEO goals of minority participation and female participation which is Exhibit "D" of the RFP (and not a change to the previously mentioned WMBE participation of 30%).

A: The project has established an overall 30% goal for Minority and Women-Owned Business Enterprises (MWBE) participation, which applies to businesses certified as MWBE. In addition, the project is subject to Equal Employment Opportunity (EEO) goals, which are federal requirements focused on ensuring minority and female participation in the workforce. The EEO goals established for the project, as set forth in the "EEO Requirements" exhibit in the Updated RFPs, are as follows: (i) a 7.7% MBE participation goal for each trade; and (ii) a 6.9% WBE participation goal for each trade. Both MWBE and EEO goals are essential to the project's success and must be met.

178. Q:

Request:

1) An updated form of contract was provided in Addendum #4 that contains references to Exhibits C: (Department of Commerce Financial Assistance Standard Terms and Conditions), D: (EDA Specific Award Conditions) , & E: (EDA Standard Terms and Conditions for Construction Projects). Can we be issued these documents as they are NOT contained within the current bidding documents? If they will not be provided, can we have the specific website address to access the documents.

2) There is note within Article 2 of the contract issued in Addendum #4. "In accordance with the Specific Award Conditions, all procurements are to be conducted in accordance with the Uniform Administrative Requirements, Cost Principles, and Audit Requirements for Federal Awards (2 C.F.R. Sections 200.317-200.327)." Can we be issued these documents? If they will not be provided, can we have the specific website address to access the documents.

A: Please refer to "EDA Documents for AIA101 Contracts" PDF on BUDC's website

179. Q:

Request:

We request final clarity regarding sales tax and some confusion within RFI responses. We understand BUDC is a tax exempt entity and per RFI responses 29 and 92, this project is not tax-exempt. Does that mean the project is fully taxable or is it a capital improvement project? Can the applicable ST form (ST119 or ST124) please be provided.

A: The project is not a capital improvement project and neither a ST119 nor ST124 will be provided.